



## **RIVER VALLEY RANCH**

### **RVRMA EXECUTIVE BOARD MEETING Wednesday, Feb. 26, 2025 Ranch House Conference Room & Zoom**

#### **Executive Board of Directors**

Michael Banbury, President  
John Lund, Vice President  
Todd Richmond, Co-Treasurer  
Carl Hostetter, Co-Treasurer  
Ben Johnston, Secretary  
RJ Spurrier, Director  
Sherry Stripling, Director

#### **Management Attendees**

Ashley Lynch, General Manager  
James Maguire, Controller  
Jessica Hennessy, Director of Design Review & Admin.  
Services  
Ali Royer, Director of Programming & Community  
Engagement  
Travis Green, Facilities & Grounds Superintendent

#### **I. Call to Order- Establish Quorum**

#### **II. Approval of Minutes**

- Approval of Meeting Minutes of the RVRMA Executive Board Meeting held on Wednesday, Jan. 22, 2025.

#### **III. Public Comment**

- Comments in public comment are for agenda items only.

#### **IV. Month End Financial Review – James Maguire**

#### **V. Management Update**

- General Manager Report- Ashley Lynch
- Programming & Community Engagement Report- Ali Royer
- DRC Report- Jessica Hennessy
- Finance Report- James Maguire
- Facilities & Grounds Report- Travis Green

#### **VI. Old Business**

- Ranch House Renovation Update *(info.)*
- Board Position Statement – Building Heights & Construction Safety *(info.)*

**VII. New Business**

- Twenty Second Amendment and Fire Defense *(info.)*
- Ali & Rachel Thank You *(info.)*

**VIII. Adjourn**

**IX. Executive Session**

- Legal Matter Regarding Inspection Process



## RIVER VALLEY RANCH

**RVRMA EXECUTIVE BOARD MEETING**  
**Wednesday, Jan. 22, 2025**  
**Ranch House Conference Room & Zoom**  
**DRAFT MINUTES**

### **Executive Board of Directors**

Michael Banbury, President  
John Lund, Vice President  
Todd Richmond, Co-Treasurer  
Carl Hostetter, Co-Treasurer  
Ben Johnston, Secretary  
RJ Spurrier, Director  
Sherry Stripling, Director

### **Management Attendees**

Ashley Lynch, General Manager  
James Maguire, Controller  
Jessica Hennessy, Director of Design Review & Admin.  
Services  
Ali Royer, Director of Programming & Community  
Engagement (*absent*)  
Travis Green, Facilities & Grounds Superintendent

### **Homeowner Attendees:**

#### **In-Person**

Sarah Gilbertson  
Mary Patton  
Wolf Gensch

#### **Via Zoom:**

John Krousouloudis

### **I. Call to Order- Establish Quorum**

Mike Banbury called the meeting to order at 5:30 p.m. A quorum was established.

### **II. Approval of Minutes**

- **MOTION:** Vice President, John Lund and Board Co-Treasurer, Carl Hostetter, motioned and seconded the approval of meeting minutes of the RVRMA Executive Board Meeting held on Wednesday, Dec. 11, 2024. The motion passed.

### **III. Public Comment**

- Mary Patton commented that she was discouraged by the Long-Range Plan

numbers in the Board Packet and was curious about the process and whether a plan B had been entertained.

- Wolf Gensch commented about the wildfires in Los Angeles and was curious if this was a topic that the Board of Directors would discuss. Wolf asked what we could be doing as a community to prevent a catastrophe like that from happening locally.
- Sarah Gilbert commented that she supports Wolf's comments and noted that the Carbondale Fire Department visited the Crystal Bluffs Loop Sub-Association and provided feedback on how to prevent fire risks.
- John Krousouloudis also shared his experience with the Carbondale Fire Department's inspection of his house and recommended others sign up for one. John added that they recommended one Blue Spruce situated close to his home should be removed.

#### **IV. Month End Financial Review**

James gave a financial presentation at the meeting that covered an update on the special assessment, the reserve-fund and year-end closing numbers for 2024.

First, James shared an update on the special assessment collection. As of last month's report, we had three unpaid accounts. Two of those have been paid in full and one is on a monthly payment plan leaving zero unpaid at year end.

In terms of the total amount collected, in 2024 we collected 63% and in 2025 we will collect 37% of the total assessment. The second installment due date is August 1st with a little over \$1.1 million to be collected.

James then shared an accrual basis snapshot of the reserve account with the special assessment renovation project split out from the main reserve account.

The beginning balance in the capital reserve account was \$2.942 million with \$60,748 in funding and \$22,241 in spending on preconstruction architectural design and engineering fees for the reserve portion of the project. The ending balance of the capital reserve account was \$2.981 million. Looking at the special assessment column, the beginning balance was 2.978 million and \$25,447 was spent on preconstruction architectural design and engineering fees, leaving an ending balance of \$2.952,707 in the special assessment fund. Combined together, the total amount in reserves is \$5,933,464.

Final numbers for 2024 were then shared. The association came in \$54,800 over income, \$17,611 over in COGS, and only \$15,703 in expenses for a total year-end net surplus of \$21,486.

DRC income ended \$28,000 over budget. Tennis was over by \$10,000 and everything else was pretty spot on.

The bottom line for income is a surplus of \$54,800.

James then highlighted Swim & Fitness and Tennis programs with a comparison to last year. On the swim and fitness side, the association brought in \$22,000 of income compared to \$17,000 last year and spent \$75,000 compared to \$65,00 last year leaving a bottom line of negative \$53,000 this year compared to \$48,000 last year. On the tennis side, about \$9,000 more in income than last year and about \$12,000 more in expenses for a bottom line of \$34,962 compared to \$37,829 last year.

John Lund asked what items are rolled in for expenses for Tennis, Fitness & Swim. James answered that personal and commission costs are included in tennis and the costs for instructors, commissions, lessons and some lifeguard supplies are included for Swim & Fitness.

Concerning expenses for the year James highlighted that the largest dollar amount over budget was Admin/Finance which was entirely due to increased insurance costs. Insurance was over budget by \$10,000. Bottom line for expenses is an overage of only \$15,703 out of budget of \$2.5 million which calculates to being 0.6% within budget.

Sherry Stripling asked about the \$10,000 insurance cost overage and asked if we budgeted appropriately this year.

Ashley commented on the increasing cost of insurance and the potential impact on the 2025 Budget. James and Ashley confirmed that the budget had not accounted for the full extent of the increase, but they were confident they could make up for the shortfall.

In conclusion, the Net Surplus for 2024 is \$21,486, which out of a total budget of \$2.5 means we ended 0.8% within budget.

## V. Management Update

- **General Manager Report- Ashley Lynch**

Ashley went over the closure dates for the upcoming temporary Ranch House closure, The Ranch House will be closed from **Tuesday, Feb. 18** through **Tuesday, Feb. 25** (re-opening **Wednesday, Feb. 26**). Ashley added that maintenance and detailed deep cleaning will happen during the closure.

Ashley highlighted that a new Hospitality Supervisor was hired, Sarah Gager. Sarah will assist while Ali is on maternity leave and Rachel will be returning to part time. Sarah came to us from the new Hoffman Hotel in Basalt.

Ashley announced an upcoming event at the Ranch House with the Roaring Fork Wildfire Collaborative and local fire department representatives to educate the public on wildfire prevention and mitigation strategies.

Ashley mentioned that people in the community have approached him about the topic of wildfires and that Board Director, RJ Spurrier, reached out to talk about similar topics.

RJ elaborated and commented that there is a need for proactive measures to protect the community from fire risks, suggesting that the DRC should evangelize fire-defensive practices. He highlighted the importance of non-combustible materials, such as hardie board siding, and the need for better landscaping practices. Ashley, Jessica and RJ will meet to continue the conversation on what can be done by the DRC and association.

It was agreed that that was a good path forward and commented that the board should be proactive.

Todd Richmond, board Co-Treasurer, commented that perhaps there can be a fire mitigation for common areas in RVR with a focus on maintenance practices.

- **Programming & Community Engagement Report- Ali Royer**
- **DRC Report- Jessica Hennessy**

Jessica said that a recent count showed 56 vacant lots in total. However, 20 those are owned by adjacent owners leaving 36 buildable lots at the moment in RVR.

- **Finance Report- James Maguire**
- **Facilities & Grounds Report- Travis Green**

Travis said that his landscaping business recently removed a large amount of mulch from a home in Aspen Glen and replaced it with rock as requested by the homeowner's insurance company.

## VI. Old Business

- **Ranch House Renovation Update** (*info.*)

Ashley discussed the current status of the renovation project. We have now entered the Design Development phase (DD), with a full DD set

released on Friday, Jan. 17. RA Nelson will collect bids and pricing (we won't fully know pricing until it comes back). A lot of work has been done on the financials, and it was noted that Carl was a big help during this work. Ashley also mentioned that the reserve study has been rebuilt, allowing for real-time adjustments and projections. Globally we are not in trouble on the reserve side of things. Financial controls are in place, and we are being conservative with that.

Ashley said preventive maintenance on the boilers is underway, a special line for a reserve project has been started to spend money on proactive maintenance inclusive of new ignition modules and the addition of anti-corrosive chemistry to the water.

Ashley ended by giving a big thanks to Marc Margulies who was a huge help during the contractor phase of the project and commented that his help was invaluable and it's been like having an owner's rep for free.

## VII. New Business

- **Reallocation of Funds for Old Town, Settlement and RVRMA to Reserve** (*decision*)

Mike shared that at the end of every fiscal year, the net profit or loss from the previous year is moved to or from the RVRMA reserve fund upon approval from the board.

**MOTION:** Todd Richmon and Ben Johnston motioned and seconded to approve the transfer of surplus funds of the Master Association from the operating account to the reserve account and to move Old Town and Settlement reserve funds to their operating account. The motion passed unanimously.

- **OTAC New Members** (*decision*)

Mike announced that there are three candidates to fill the open seats for the OTAC Advisory Board, Elkie Craven, Sam Hartnett and Colin Galbraith.

**MOTION:** John Lund & Carl Hostetter motioned and seconded to appoint Elkie Craven and Sam Hartnett to the Old Town Advisory Committee. The motion passed unanimously.

## VIII. Adjourn

**MOTION:** Ben Johnston and Todd Richmond motioned and seconded to adjourn the

meeting. The meeting adjourned at 6:26 p.m.

DRAFT



**February 26, 2025**

## **General Manager's Report**

### **Governance/Operations:**

- We continue to work on items concerning the execution of the Ranch House renovation plan. Please refer to the renovation update in the board packet.
- We are in the process of switching to a new vendor for our website management/hosting. A big thanks to Laura Hansson (former RVRMA Board Member) for her assistance in this process.
- We have concluded our annual RH closure from 2/18 to 2/25. A big thanks to the community, we understand that this is a large imposition. Below are some of the items we accomplished. While this is not a full list, many of the items noted facilitate the need for a partial or full suspension of services.
  - The lap pool and hot tubs were drained, cleaned and sanitized
    - This is necessary from a health perspective. The rec pool is able to be cleaned given its seasonal use, but the other bodies of water must be drained, scrubbed, re-filled and re-heated.
  - We installed much needed isolation valves on our boilers while also doing other misc. boiler maintenance. The hot water/heat in the building was impacted as the boilers were taken offline.
  - Annual maintenance was done on all hardwood flooring (inclusive of the yoga studio and stairwells) and tile. For this to happen all foot traffic is prohibited in affected areas.
  - The showers in the locker rooms have been leaking into the basement for some time now. We have tried to do work sporadically to fix these issues. Over the closure we had the shower stalls re-grouted and sealed. The shower drains were fully sealed. This would have required showers to be offline for work to be done and subsequent curing to take place.
  - All carpets were steam cleaned inclusive of the gym carpets. All rugs on the main level were also cleaned.
  - The bar was deep cleaned. All refrigerator/freezers were defrosted and scrubbed. All drains deep cleaned. All appliances moved in order to clean underneath and behind.
  - Extensive staining was done throughout the Ranch House. This always produces a high VOC odor throughout the building for the majority of the first week.
  - Gym Equipment was deep cleaned
  - The inside of all lockers were deep cleaned
  - Fire alarm/security alarm/fire sprinkler systems were inspected. This requires the alarms to be set off multiple times.

- The backflow preventors on the building were inspected (the TOC requires this annually for all commercial buildings).
- Duct cleaning was conducted impacting building ventilation and laundry facilities.

### Staffing

- As noted last month, we have hired a Member Services Supervisor to assist us as Ali and Rachel leave for maternity leave. Sarah Gager is doing a wonderful job. Please be sure to introduce yourself as she gets to know our community. We have also started hiring for summer lifeguards.



### Sub-Associations & Neighborhoods

- **The Boundary** – the community had a meeting on Jan 16 at 3pm.
- **Crystal Bluffs** –
  - The community had an annual meeting on Dec 5<sup>th</sup>. Their budget was approved for 2025.
  - A meeting is scheduled at Silver Mountains Property's offices on 2/26/25.
  - A fire assessment was recently done via the Carbondale Fire Department.
- **The Fairways**– No updates
- **Old Town and Settlement** –
  - No updates
- **Thompson Corner**
  - No updates

Ranch House Report 2.26.25 – Ali Royer, Director of Programming & Community Engagement

**Fitness**

We ordered a new incline/decline bench for the weight room to replace the one that is ripped. A new bench was close to the same cost as getting the bench reupholstered. One of the treadmills is getting a few replacement parts to extend the life of the machine. We looked into used and new options, but replacing parts makes sense for now. There are no classes during the week of the closure besides Qigong which is available via Zoom.

				
Day	Time	Location	Class	Instructor
<b>Monday 2/24</b>				
RVR Ranch House Closed				
<b>Tuesday 2/25</b>				
RVR Ranch House Closed				
<b>Wednesday 2/26</b>				
	6:00-7:00 AM	Studio	PEAK Fitness	Jace
	8:00 - 9:00 AM	ZOOM	Qigong: Moving Meditation	Cari
	8:00-9:00 AM	Studio	Cycling + Upper Body Strength	Susan
	11:00 - 12:00 PM	Studio	Gentle Slow Flow Yoga	Shelly
<b>Thursday 2/27</b>				
	7:30 - 8:30 AM	Studio	Vinyasa Flow (moderate)	Shelly
	9:30 - 10:30 AM	Studio	Dynamic Strength	Bonnie
	10:45-11:45 AM	Studio	Pilates Sculpt	Lauren Haimbaugh
	5:30 - 6:30 PM	Lap Pool	Master Swim	Dave
<b>Friday 2/28</b>				
	6:00-7:00 AM	Studio	PEAK Fitness	Jace
	8:00 - 9:00 AM	Studio	Gentle Slow Flow Yoga	Shelly
	9:30 - 10:30 AM	Studio	Cycle + Strength	Shaylee
<b>Saturday 3/1</b>				
	9:00 - 10:00 AM	Studio	Ageless Athlete	John
	10:15 - 11:15 AM	Studio	Bootcamp	Shaylee
<b>Sunday 3/2</b>				
	4:30 - 5:30 PM	Studio	Restore & Renew Yoga	Ellen

**Ranch House Usage – January summary**

1. We had 3,124 check-ins for January (compared to 2,960 check-ins in December, and compared to 2,879 in January 2024)
  - a. 181 were Thompson Corner or ADU members.
  - b. 2,943 were homeowners or transferred members (long-term renters)

**Tennis**

Tennis kids’ summer camps are posted. They’re available for RVR resident registration only until 3/7/25 and then they will be available for kids not living in RVR to register. Additionally, 2025 prices for tennis lessons, clinics, and memberships are posted. Seasonal tennis memberships are now posted and available for registration.

**Staff**

Previous summer employees have been contacted. We will start posting and hiring lifeguards this week.

**Past & Upcoming Events**

Recent Events

- 1/18 Apres-Ski Fireside Social with Mt. Sopris Nordic Council
- 1/28 RVR4Good Follow Up Meeting – Next Steps

Upcoming Events

- 2/28 Family Movie Night

## **DRC Report, February 2025 - Jessica Hennessy**

The following projects are scheduled for review by the DRC in February:

- **Lot:** F36, 425 Boyd | **Review:** Exterior Stair Entry Renovation
- **Lot:** HH09, 1196 Heritage | **Review:** Exterior Stair & Outdoor Kitchen Renovation
- **Lot:** FF16, 782 Perry Ridge | **Review:** New Construction Final Review
- **Lot:** GG09, 120 Bowles | **Review:** New Construction First Preliminary Review

The DRC has seen a slight uptick in review submittals for January and February, which is typical this time of year. Builders and owners are eager to get their designs through the RVR review process early in the year so they can get in line for permitting with the Town of Carbondale, and break ground in the spring. Applications have also been reviewed for changes to approved new construction design and other miscellaneous home alterations.

The DRC has been working on the Twenty Second Amendment to the RVR Design Guidelines which the board will have the opportunity to review in this month's board packet. This new Amendment will feature language that highlights design that allows fire defense, drought tolerant landscape and contemporary interpretations of the guidelines.

### **DRC numbers February 2025:**

- There have been **8** Administrative Review Applications processed so far this year.
- There are currently **19** homes in the construction phase (from breaking ground to the final inspection phase/closeout).
- There are **5** applicants in the Preliminary Design Review phase.
- There are **4** applicants finalized by DRC and waiting on permits from the Town of Carbondale.
- There are currently **28** total active DRC files.



## RIVER VALLEY RANCH

### Financial Report for Month Ending January 31, 2025

Prepared by James Maguire, Controller

#### Executive Summary

This report presents the financial performance of the RVRMA for January 31, 2025, the first month of the new fiscal year. The 2025 operating budget was developed with the objective of minimizing member dues increases while accommodating inflationary pressures, particularly in light of the special assessment approved last year, with the second installment due in August 2025.

While the 2025 budget was carefully constructed, diligent monitoring will be essential to maintain alignment throughout the fiscal year. A key variable remains DRC fee income, for which projections have been adjusted, although forecasting accuracy remains a challenge. Furthermore, the year began with a significantly higher than anticipated irrigation water reconciliation bill from the golf course. This is projected to result in an approximately \$15K expense overage for the year, averaging approximately \$1,000 per month, with the January expense already exceeding projections by nearly \$5,000. This variance is primarily attributable to a shift in the water usage ratio between the HOA and the golf course in 2024 (48% HOA / 52% Golf Course) compared to the typical ratio (41% HOA / 59% Golf Course). These percentages are used to determine the cost-sharing arrangement for irrigation system repairs and maintenance.

Consequently, management will leverage its forecasting tools to identify potential offsetting adjustments to accommodate this projected overage and other unforeseen expenses that may arise during the year. The objective is to maintain a course that results in year-end performance within 1% of the approved budget, consistent with the previous fiscal year.

#### Revenue Analysis

Total revenue for January reached \$218,477, just shy of the budgeted amount of \$219,996 by \$1,519. Here are a couple of the key sources of the variance:

- DRC Income: \$2,427 deficit
- Property Transfers from Home Sales: \$500 deficit
- Fitness Class Income: \$1,273 surplus

These are minor variances and are not cause for concern at this time.

#### Cost of Goods Sold (COGS)

The bulk of COGS transactions generally don't pick up until the summertime, but Fitness Class expense was \$5,734 out of a budgeted \$5,000, a variance of a little over \$700.

#### Expense Analysis

Total expenses for the month amounted to \$198,528, slightly exceeding the budget of \$194,582 by \$3,946 (2% variance). Personnel costs, the largest expense category, remained remarkably close to budget. Actual expenses were \$123,390 out of a budgeted \$123,410, a variance of only \$20.

Here are all areas of the expenses for January:

- Personnel Costs: \$20 under budget.
- Irrigation Costs: \$4,563 over budget, as mentioned above.
- Grounds: \$2,797 under budget
- Ranch House: \$66 over budget
- Utilities: \$437 over budget
- Admin & Finance: \$1,531 over budget
- DRC: \$160 under budget
- RVR Community Expenses: \$325 over budget

The administrative expense variance is primarily attributable to increased I.T. costs in January. While irrigation expenses represent a significant variance, the contributing factors are understood, and appropriate adjustments will be implemented as mentioned above.

### **Budget vs Actual – Bottom Line**

The bottom line for January was a \$6,167 deficit, the majority of which came from the irrigation water split. This end-of-year reconciliation resulted in a \$10,540 unanticipated cost, the majority of which impacted the month of January. While we will continue to see this impact in subsequent months, its effects will be less significant and we are taking measures to offset the unanticipated expense.

### **Reserve Fund Summary**

The RVRMA's total reserve fund balance began January 1<sup>st</sup> on an accrual basis at \$5,933,464, comprised of \$2,980,757 in capital reserves and \$2,952,707 in special assessment funds.

Reserve income from dues totaled \$47,090, and interest income was \$16,470. The net surplus from 2024 of \$21,486 was also transferred to the reserves in January.

Reserve expenditures totaled \$50,324, including \$32,846 from the special assessment fund and \$17,478 from the capital reserve fund. Both were for preconstruction, architectural, and legal fees related to the ranch house renovation and capital improvement project.

The ending reserve fund balance for January 31<sup>st</sup> was \$5,968,186, with \$3,048,325 in capital reserves and \$2,919,861 in special assessment funds.

### **Conclusion**

In summary, the RVRMA's financial performance for January 2025 reflects a solid start to the fiscal year. While minor revenue variances were observed, they are not a cause for immediate concern. Cost of goods sold expenses are expected to increase with seasonal activity. The primary expense variance stems from the higher-than-anticipated irrigation reconciliation bill, which will be addressed through proactive budget adjustments and ongoing monitoring. Despite this challenge, personnel costs remain well-managed, and other expense variances are generally minimal. The reserve fund balance is mostly invested in CD's to maximize interest income and timed to mature when the renovation project picks up. Management remains committed to maintaining fiscal responsibility and achieving its budgetary objectives throughout the year.

**River Valley Ranch Master Association**  
**Profit & Loss Budget Performance**  
**January 2025**

	January	Budget	YTD Actual	YTD Budget	Annual Budget
<b>Income</b>					
Assessments - Operating	191,148	191,163	191,148	191,163	2,294,100
Memberships	5,297	5,000	5,297	5,000	82,500
Swim & Fitness	3,300	2,083	3,300	2,083	27,100
Tennis	0	0	0	0	207,000
Homeowner Reimbursable Assessments	10,304	10,300	10,304	10,300	135,000
Other Income	8,429	11,450	8,429	11,450	206,500
<b>Total Income</b>	<b>218,478</b>	<b>219,996</b>	<b>218,478</b>	<b>219,996</b>	<b>2,952,200</b>
<b>Cost of Goods Sold</b>					
Swim & Fitness	5,734	5,000	5,734	5,000	71,500
Tennis	0	0	0	0	170,200
Concessions	209	300	209	300	28,500
Credit Card Fees	561	500	561	500	20,000
<b>Total COGS</b>	<b>6,504</b>	<b>5,800</b>	<b>6,504</b>	<b>5,800</b>	<b>290,200</b>
<b>Gross Profit</b>	<b>211,974</b>	<b>214,196</b>	<b>211,974</b>	<b>214,196</b>	<b>2,662,000</b>
<b>Expense</b>					
Personnel	123,390	123,410	123,390	123,410	1,603,400
Grounds	7,653	10,450	7,653	10,450	374,000
Irrigation	17,213	12,650	17,213	12,650	124,800
Ranch House Expenses	12,903	12,837	12,903	12,837	153,300
Utilities	13,047	12,610	13,047	12,610	138,100
Administrative	16,523	15,100	16,523	15,100	130,200
Finance	408	300	408	300	7,500
Design Review Committee	3,840	4,000	3,840	4,000	46,000
RVR Community Expenses	3,550	3,225	3,550	3,225	84,700
<b>Total Expense</b>	<b>198,527</b>	<b>194,582</b>	<b>198,527</b>	<b>194,582</b>	<b>2,662,000</b>
<b>Net Operating Surplus / Deficit</b>	<b>13,447</b>	<b>19,614</b>	<b>13,447</b>	<b>19,614</b>	<b>0</b>

**RVRMA Reserve Activity**  
**January 2025**

	January	Budget	YTD Actual	YTD Budget	Annual Budget
<b>Reserve Income</b>					
Reserve Assessment Income	47,090	47,090	47,090	47,090	565,080
Investment Interest Income	16,470	15,000	16,470	15,000	120,000
<b>Total Reserve Income</b>	<b>63,560</b>	<b>62,090</b>	<b>63,560</b>	<b>62,090</b>	<b>685,080</b>

	Capitla Reserve	Special Assess.	Total RVRMA
<b>Reserve Balance January 1</b>	<b>2,980,757</b>	<b>2,952,707</b>	<b>5,933,464</b>
Move prior year net surplus to reserves	21,486	0	21,486
Income - Reserve Dues & Interest	63,560	0	63,560
Spending	(17,478)	(32,846)	(50,324)
<b>Reserve Balance January 31</b>	<b>3,048,325</b>	<b>2,919,861</b>	<b>5,968,186</b>

## River Valley Ranch Master Association

### Public - Balance Sheet

As of January 31, 2025

#### ASSETS

##### Current Assets

##### Checking/Savings

Wells Fargo Operating	244,520
Investment Accounts	5,765,326

Total Checking/Savings	6,009,846
------------------------	-----------

##### Accounts Receivable

Special Assessments A/R	1,127,371
HOA Dues A/R	891
Miscellaneous A/R	0

Total Accounts Receivable	1,128,262
---------------------------	-----------

##### Other Current Assets

Undeposited Funds	11,085
Interest Receivable	34,283
Prepaid Expenses	24,717
Inventory	5,235

Total Other Current Assets	75,320
----------------------------	--------

Total Current Assets	7,213,428
----------------------	-----------

Fixed Assets	604,338
--------------	---------

<b>TOTAL ASSETS</b>	<b>7,817,766</b>
---------------------	------------------

#### LIABILITIES & EQUITY

##### Liabilities

##### Current Liabilities

##### Accounts Payable

Accounts Payable - Vendors	93,258
Accounts Payable - Payroll	51,186
Accounts Payable - Payroll Tax	5,017
Accounts Payable - P&D Deposits	874,740

Total Accounts Payable	1,024,201
------------------------	-----------

##### Credit Cards

Wells Fargo Credit Card	5,236
-------------------------	-------

Total Credit Cards	5,236
--------------------	-------

##### Other Current Liabilities

Interest Payable - P&D Deposits	13,445
Prepaid HOA Dues	42,883
Prepaid Income - DRC Fees	46,539
Sales Tax Payable	61
AVLT Payable	8,031
Payroll Liabilities	1,964

Total Other Current Liabilities	112,923
---------------------------------	---------

Total Current Liabilities	1,142,360
---------------------------	-----------

<b>Total Liabilities</b>	<b>1,142,360</b>
--------------------------	------------------

##### Equity

Reserves (RVRMA, OT, TS)	6,049,252
Prior Operating Fund	1,058,167
Transfers to from Reserves	(604,204)
Retained Earnings	154,302
Net Income	17,889

<b>Total Equity</b>	<b>6,675,406</b>
---------------------	------------------

Rounding	0
----------	---

<b>TOTAL LIABILITIES &amp; EQUITY</b>	<b>7,817,766</b>
---------------------------------------	------------------

Dear Board Members,

I am pleased to provide an update on the recent grounds and facilities activities at River Valley Ranch.

**Pro Green Conference:** Gavin, Dan, Carlos, and I attended the Pro Green Conference in Denver and received continued education for irrigation and landscape applications that we will use here in RVR.

**Irrigation:** We are completing the irrigation Cla-Valve restoration this month and will be ready to turn the water on in April.

**Pool Cleaning and Valve Repair:** Juan Carlos and his team completed a deep cleaning of the lap pool and hot tubs. We also replaced a broken isolation valve for the hot tub which will make maintenance easier for us moving forward.

**Snow Removal:** The snow removal has been light this year but we are pleased with Omar's crews prompt and efficient services when they have been needed.

**Signage:** Faded street signs and broken posts were repaired and replaced last week.

**EAB:** Ashley, James, and I are working with the Town of Carbondale arborist Carl Meinecke and Earthwise arborist Alex Vociskey to put an action plan and budget in place for the first phase of Ash tree removals this spring.

**Locker Rooms:** We are doing some waterproofing and grout work in the showers during the Ranch House closure. The lockers are being deep cleaned and re-stained as well. See the GM report for a more inclusive list of items addressed during the closure.

Travis Green

Landscape and Facilities Superintendent

## **Ranch House Renovation Updates**

**February 26, 2025**

We will be receiving data from the second pricing round (from RA Nelson) by Friday 2/21. Once we have that pricing we will internally crunch numbers during the week of the board meeting. We have a planned meeting with our Architect and GC on the week following the board meeting. Our path forward will be determined by that pricing.

Once we process that information and revise plans as needed, we will be entering the Construction Documents Phase (CD). During that stage we will work toward a guaranteed maximum price with RA Nelson and pursue contract completion. Concerning our contract with Land + Shelter, we submitted changes to our latest draft in coordination with our legal team. We met with L+S to discuss their comments. We have agreed on a path forward and should be signing a contract soon. We are using an AIA contract (B-133) with inserted language from our attorney.

## **Ranch House Renovation Updates**

**January 22, 2025**

We have entered the Design Development phase (DD), with a full DD set to be released on Friday 1/17/25. That plan will be used by RA Nelson as they complete another pricing round. This pricing round should be exhaustive (3 to 4 weeks), allowing us to make final decisions to the scope based upon where we stand with our budget.

We held a working session with the RVRMA BOD in late December to discuss details, ensuring that they were versed in project specifics. We have also continued to work on projected financials, completing what is essentially a new reserve study that can give us a clearer picture of our reserve balances over time. We accomplished this by using a software tool (uPlanIt) that came with our last reserve study via Association Reserves. We also completed a spreadsheet that mirrors the uPlanIt Tool, allowing us to change a myriad of details to project future outcomes. As an example, we can change the expected rate of return on our reserve investments in the future, change future funding, and change future expected expenditures to see what implications it might have on reserve balances in years to come. In doing this, we can have more confidence that our reserve balances are sufficient to avoid risks as we move deeper into the contracting phases with RA Nelson.

Concerning the contracting, RA Nelson is currently working under a \$35K maximum pre-construction agreement, upon which we will develop a Guaranteed Maximum Price (GMP). We will not sign a construction contract until we have an agreed upon GMP, with a full list of dated documents upon which sub-contractor bids and all GC costs are based. We are working with our lawyers (a construction law expert) to review all contract language for both the RA Nelson Contract as well as our contract with Land + Shelter. Again, I would like to offer thanks to Marc Margulies for his expertise and assistance through this process.

As we forge through these phases and await another round of pricing we hope to have more detailed designs to share (please see the Dec. 11<sup>th</sup> report below for more details on design).

On a related note, we are beginning preventive maintenance measures on our boilers in an effort to ensure that they can extend their useful life for around 6 more years. We are replacing ignition modules and collecting quotes for other proactive measures to better ensure that they will function until replacement.

## **December 11, 2024**

We held a meeting with the Design Advisory Group (DAG) on December 3<sup>rd</sup> to discuss Schematic Design (SD) prior to entering the Design Development (DD) phase.

We received preliminary pricing from RA Nelson (RAN) on November 15<sup>th</sup>. That pricing caused us to request updates to SD pricing to evaluate alterations to the scope being considered. During the meeting with the DAG we reviewed pricing and made recommendations for drawings that would bring us into Design Development. We continue to work with financials to ensure that we have a full understanding of all costs. To be clear, the design is still in flux and future pricing rounds will allow us to make adjustments as we fine tune details.

From the perspective of the “special assessment portion” of the project, the current design shows us nearly flat with our budget, though as noted earlier this pricing and scope is still very much subject to change.

From the perspective of the reserve portion of the project, we asked the General Contractor (GC) to entertain additional preliminary bids for work on the pool deck/pool plastering, etc. We are awaiting those new estimates to gain confidence in preliminary pricing estimates. Here it should be noted that we are not soliciting bids from sub-contractors at this stage of design. Pricing estimates are being obtained to ensure that we have dependable estimates to guide design decisions.

At this stage, we plan to perform needed maintenance/replacement for all reserve items that were discussed during the course of the Long-Range Planning Committee’s (LRPC) work. A short list of those items include: maintenance building replacement, pool deck replacement, partial window replacements, roof replacement, resurfacing all bodies of water, replace coping and tile work in pools, etc. These are some of the most expensive items to accomplish, particularly those related to the pools/pool decking. Preliminary cost estimates from a local contractor on these items came in high—hence our investigation into alternative preliminary price estimations. There are many other extraneous reserve items that are in our reserve study such as boiler replacement or augmentations to our HVAC system. At this time, we are reviewing all pricing and performing due diligence (as noted in my previous report) to guide a path forward.

Since my last report in November, we have had our boilers inspected and they have received an overall clean bill of health, though there are components that will always be subject to unexpected failure. As we had this work done, we had discussions about maintenance priorities should we retain the current boilers for a longer period of time. Boilers and HVAC work may be part of a longer strategy of planned replacement given the large-scale expense and the anticipated additional life that current components seem to have. Solar is also a consideration, we are obtaining price estimates and ROI projections.

We hope to have a design set to share soon, but I will share some more specific design details of the mailroom, as it’s overall design and dimensions seem to be more stable at this time. I will also elaborate a bit more on the overall design concepts.

**Overall Design:**

At this time, the current design is quite similar to what the LRPC recommended. The bar is planned to undergo a full refresh with new equipment, barstools a new bar top, keeping its current rough dimensions. A window will be added, creating a pool view and letting light into the reception area. The front desk will likely be replaced to be more ergonomic and space efficient. Lighting fixtures will be upgraded throughout the main level with all new furniture. The current restroom behind the front desk will be repurposed for refrigeration and dry storage with a utility sink. We will also be adding new modern water fountains that allow water bottles to be refilled. All of this is roughly in keeping with the concepts shared with the community. This is by no means a comprehensive list, but we will share more in the coming months.

The east addition on the other side of the great room fireplace has been drawn slightly larger than what the LRPC had envisioned, adding a storage area and an office area (likely used by the tennis pro). This design was entertained by the DAG under the assumption that added square footage here might be of little cost. It was drawn by the architects to understand if it would be advantageous from a cost perspective. It would eliminate the need for any renovations to the tennis shed (Cristina’s office) and storage could be used just off of the Great Room. As we move through design stages, we will need to weigh the usefulness of this space with financial realities. That said, if it is not vetted, we can’t make informed decisions.



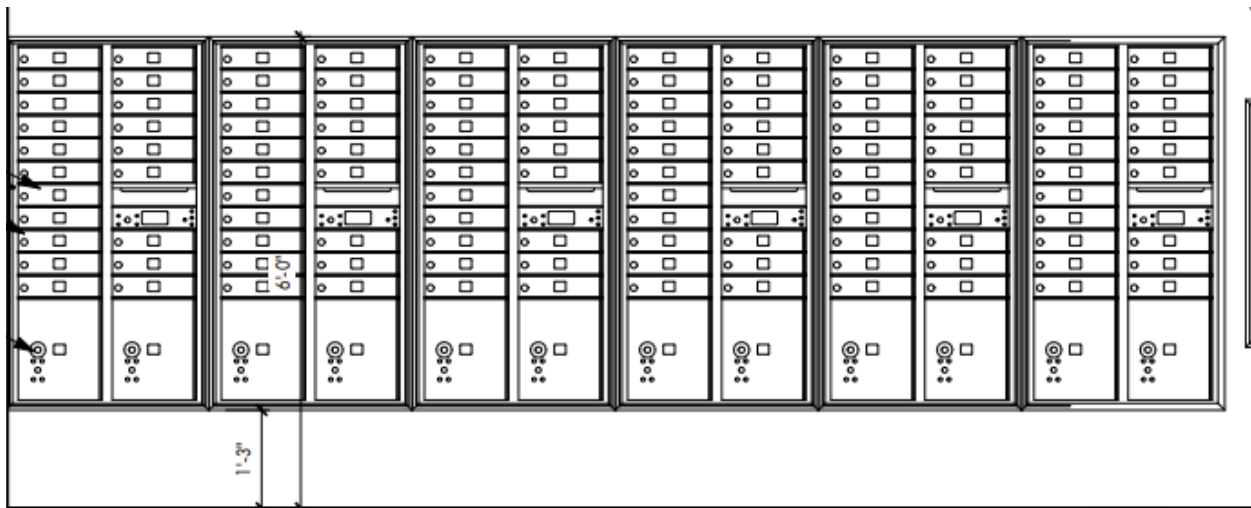
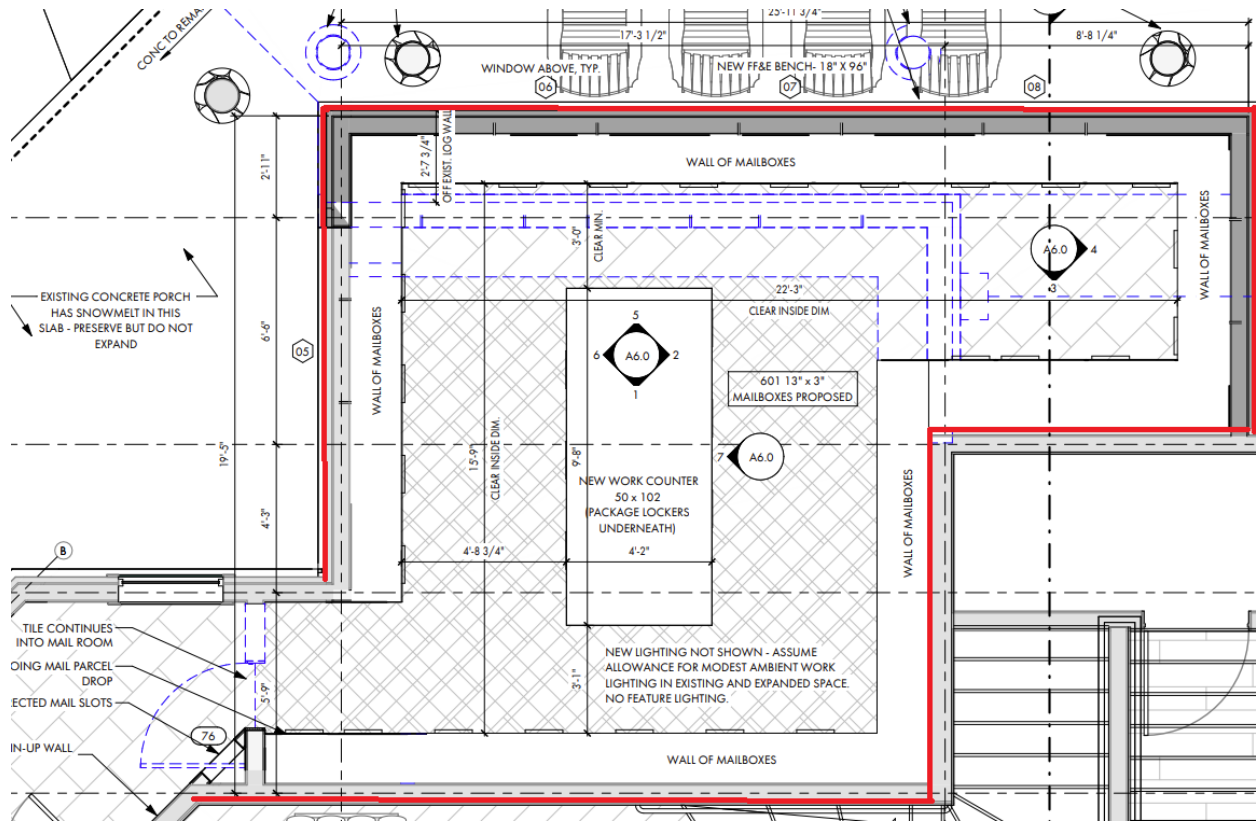
VIEW AT EAST SIDE ADDITION

In terms of the locker room renovation, that scope is still evolving but we do hope to re-tile showers and steam rooms, upgrade all plumbing fixtures and sinks, install all new countertops, paint lockers and add programmable 4-digit locks. The bathroom stalls are also planned to be upgraded with all urinals and toilets to be replaced. Of course we will also repaint to an alternative color scheme.

As noted previously, the plan for the mailroom seems to be more stable. This area is planned to move forward with some small modifications (slightly different than the Long-Range Plan in terms of its shape and design). The photos below illustrate its shape and form, which is more in keeping with the architecture of the existing building. This design allows the expansion to retain its current shed roof form bringing the addition further to the east, creating the shape you see outlined in red below. The current internal door to the mailroom will likely be eliminated to produce additional space and a more open feel (this door is never closed, there is no operational need for it). You may notice that the window below with red dots has slightly changed. This window is in the staircase leading to the boardroom. Under the plan the window transom will remain, but the shed roof form will continue across the current window.

This design would facilitate new mailboxes that are recommended by the USPS and it would allow nearly double the number of parcel lockers (see illustration below). The existing island will also be substantially larger.





From the special assessment side of the remodel, pricing came back roughly in line with expectations, largely thanks to an aggressive contingency that was added to the plan. There is still much work to be done to refine the scope while ensuring that the project comes in on budget. We are in the contractual stages, formulating a contract with the GC that includes a Guaranteed maximum price.

The details of the renovation are in flux, but it is exciting to see things coming together. Preliminary pricing did cause us to reconsider some items, but the majority of cost overruns seem to center on reserve items. As discussed, we need to obtain more information on pricing before navigating forward. That said, the items outlined in the original LRP are a priority to accomplish (see screenshot below).

**Improvements not in the plan to be funded from Reserves**

The site plan shows several buildings and pools. Callouts with photos and cost estimates are as follows:

- Maint. Bldg. Rplacement: \$100,000
- Tennis Shop Refurbish: \$25,000
- Pool Decking Replacement: \$452,500
- Main & Lap Pool Resurface: \$300,000
- Spa Resurface: \$50,000
- Windows Replacement: \$150,000 (Partial)
- Roof Replacement: \$202,730

**Note**  
Cost estimates from Association Reserves Study (May 19, 2023)

RIVER VALLEY RANCH

### **Previous Report from 11/13/2024**

Given that our last board meeting occurred in late October, there are no significant updates. We have been working to ensure that details have been considered to get the most accurate preliminary pricing from RA Nelson.

As we receive that pricing, we will be in a better position to consider a path forward as we progress through the design process. We are also continuing a due diligence process with an HVAC contractor. Conversations related to HVAC are related to reserve expenditures, as opposed to items related to the Special Assessment portion of the project.

As we receive pricing, we want an estimated idea of what an overhaul of the current heating/cooling system of the Ranch House might cost. Our boilers are original to the building. Those boilers ultimately serve to heat the Ranch House and they also have a role in heating the pool via dedicated heat exchangers. The specific projects that we want preliminary cost estimates related to these mechanicals are:

- 1) A full replacement of our cast iron boilers, replacing them with high efficiency boilers
- 2) Transitioning our HVAC system to a variable air volume (VAV) system.
  - a. Our current system uses constant velocity, meaning that air is always circulating (the vents are always blowing air). This system utilizes an ERV (energy recovery Ventilator) which reduces the workload of the air conditioning units.
  - b. While constant velocity is not as efficient as a VAV system would be, it does allow for maximum air exchange in the building, which is useful in a health club setting.

We have an appointment set to have the current boilers inspected. Our HVAC maintenance purveyor will be physically inspecting the inside of the boilers. We hope that this will give us the most accurate indication of remaining useful life.

Boiler upgrades and VAV would have ROI, but they are some of the most expensive items addressed on our reserve study. While they are due for replacement, with funding via our reserve study, there could be enormous cost savings from delaying that project if the current units have a clean bill of health.

The due diligence that we are doing concerning our HVAC system is a good way to understand where we stand on the overall planning for the renovation at this time. The current schematic design sets have been crafted to ensure that we receive pricing, giving us enough information to forge a path forward.

I should also note that due diligence is also being conducted to understand the costs related to solar as we consider the roofing project at the Ranch House.

**Previous Report from 10/24/2024**

The update that was included in September’s Board Report appears below this update. For anyone who is not familiar with what was discussed at the September Board meeting, please refer to that report.

Since that time, a meeting was held with the GC, Architect, and RVR Design Advisory Group (DAG) to discuss early stages of Schematic Design. The conversation largely centered on specific plans for the added square footage to the east of the Great Room, along with specific ideas for a restructuring of the current bar. We also walked the locker rooms to discuss the remodel scope that might be included in the Schematic Design for subsequent pricing. This meeting was helpful to guide us toward a preliminary Schematic Design.

The timeline for design phases is included below, though it might require you to zoom in on the PDF file to read. We hope to conclude SD and have cost estimates provided by the GC by 11/15. This will give us a better understanding of overall costs for both the special assessment portion of the project as well as the portion that would be funded by existing reserves.

As has been discussed previously, from an accounting perspective, we are tracking costs for the reserve portion vs. the assessed portion of the project separately.

Concerning Engineering: Sopris Engineering has been working on a site survey and Bighorn Engineering will soon be engaged to review M&E. A meeting was also held to walk mechanicals with the vendor who maintains our boilers/HVAC, to better understand the current systems.



*Previous Report from 9/25/2024*

During the annual meeting I covered this topic in more detail. This document will further discuss processes that have unfolded since that time.

As noted in that meeting, we have selected RA Nelson (RAN) as a General Contractor. We ultimately decided on them after pursuing 2 other alternatives. RAN offered the best pricing structure via their RFP. They also provided references alongside comparative projects that were very similar in size and scope to our renovations at the Ranch House, inclusive of work on pools/community centers. The references provided were also outstanding. RAN had pre-existing knowledge of our project, having volunteered to assist us during the Long-Range Planning Committee's OPC (opinion of probable cost) phase with the McMahon Group. In this way, they fully understood what we were hoping to accomplish at the Ranch House.

Since that time, we have also selected an Architectural firm. After interviewing other architects, we ultimately decided to work with Land + Shelter (L+S), led by Andrea Korber. L+S is a well-known local architecture and planning firm. They have been involved with Carbondale projects such as: the Carbondale Pool/Rec Center and True Nature. As a long-time local, Andi has family in RVR and has familiarity with both our community, and our facility.

While we have made commitments to both L + S and RAN, our current obligations do not yet extend to the full scope of the renovation project. As we begin the Schematic Design (SD) process, we are working toward a full contract with both firms. As this SD phase comes to a close, we will work with RA Nelson for a preliminary pricing round. That will give us a more detailed idea of costs allocated to specific portions of the scope.

Up to this stage, our internal team has largely consisted of a working group, which is growing over time. I'd like to thank the following homeowners for providing their expertise to consult on the project. As we move through the SD phase, this group will serve a more formal role as a Design Review Team.

- Ashley Lynch (GM)
- Carl Hostetter (Co-Treasurer of the RVRMA Board)
- Marc Margulies (Boundary homeowner and retired Architect & Owners Rep)
- Rob Morey (Owners Rep, Old Town Homeowner)
- Zach Smith (RVR Custom Homes owner, Builder)
- Elizabeth Lozner (Caryatid Structural Engineering, RVR Homeowner)
- Jennifer Dicuollo (DRC Committee Member, Landscape Architect)

The timeline of the project will become clearer as we march through the planning stages, but we hope to accomplish the bulk of project from Labor Day 2025 to Memorial Day 2026. The Architectural phases of the plan leading up to the construction documents and construction administration phases will take some time to complete.

This puts us on track to accomplish the bulk of the improvements in 2025/2026. As a reminder to the community, the full plan, inclusive of financial data, remains available on the RVRMA website. You will find it on the top of the homepage. In that PDF, you will find a detailed accounting of expenditures, projecting those to happen in 2025/2026.

As we move deeper into the planning stages, more comprehensive cost estimates will be forthcoming.

It should be noted that the top priorities for this project remain to be:

- 1) To come in on, or below, budget.
- 2) To minimize disruption to the Ranch House as much as possible, focusing on timeframes outside of the peak summer season.
  - a. It is our goal to keep the facility open to the public to allow use of the building at all times.

Ashley Lynch

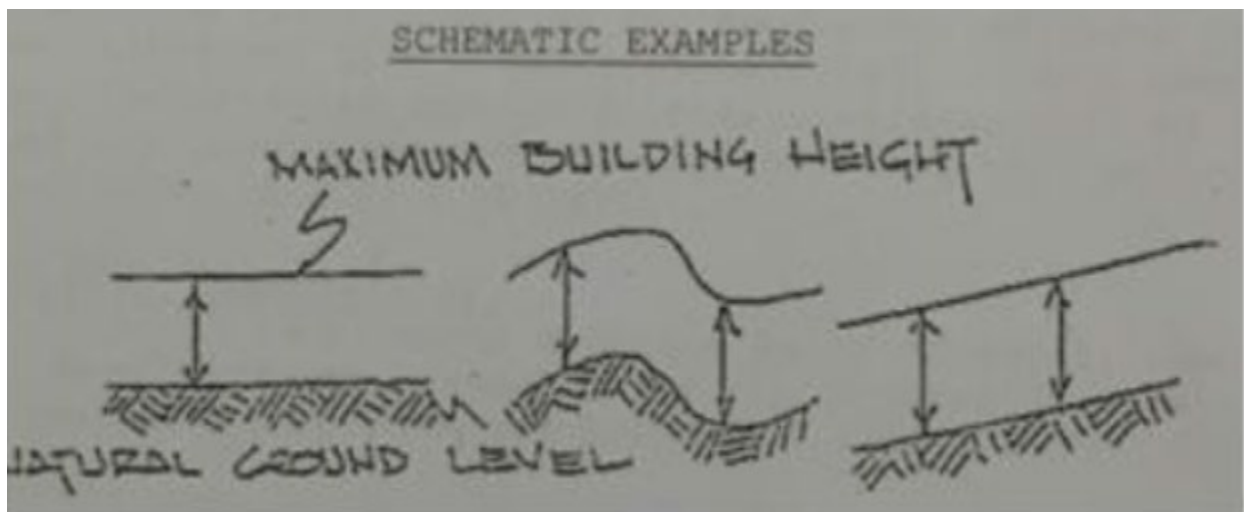
GM RVRMA

## Position Statement – Building Heights & Construction Safety Regulations

It is the position of the RVRMA Executive Board of Directors to look to the Town of Carbondale for building height zoning and [still] feel that building height regulation is a Town responsibility rather than something the HOA should seek to regulate itself.

The RVRMA Board does not believe building height should be determined from the street curb height. This is not fair to existing lot owners of up-sloping lots or a best practice.

The Town of Carbondale considers the allowable building height to be that measured from the unimproved grade. That concept is easy to understand and perfectly reasonable. If your lot slopes upward from the street, your building height limit does the same. The Town includes this diagram to help illustrate the concept:



It has been proposed by a community member that the building height limit should be constrained to the height relative to the street curb elevation, and the claim is that this approach is "a standard thought the US and even Europe."

This proposed approach is uncommon in municipalities that have many lots on hills and sloped grades.

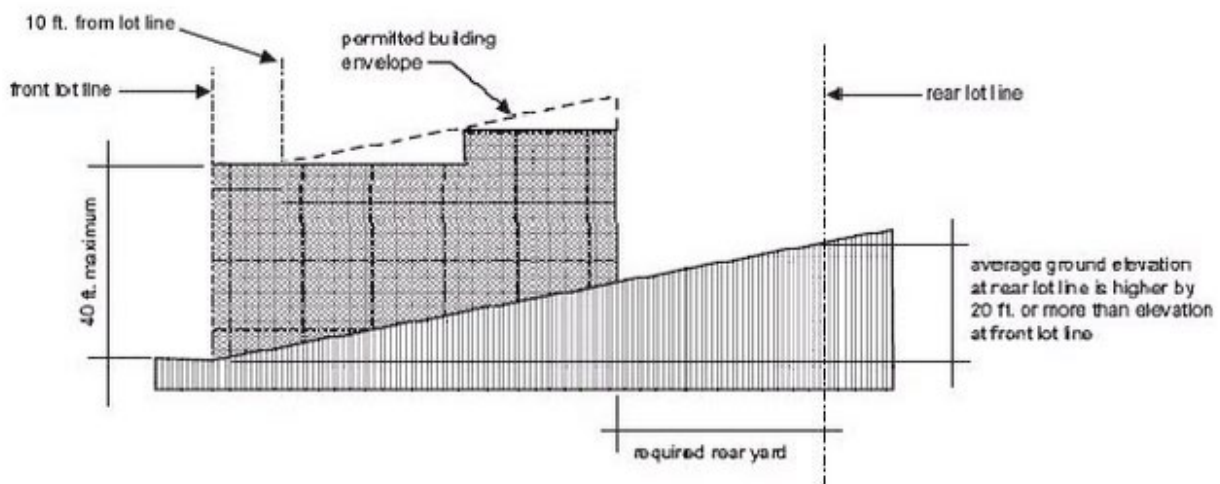
For example, few cities have more experience with that situation than the town of San Francisco.

And what the [City of SF does in this situation](#), is quite similar to the rule the Town of Carbondale uses, namely:

(C) Where the lot slopes upward from a street at the centerline of the building or building step, such point shall be taken at curb level for purposes of measuring the height of the

closest part of the building within 10 feet of the property line of such street; at every other cross-section of the building, at right angles to the centerline of the building or building step, such point shall be taken as the average of the ground elevations at either side of the building or building step at that cross-section. The ground elevations used shall be either existing elevations or the elevations resulting from new grading operations encompassing an entire block. Elevations beneath the building shall be taken by projecting a straight line between ground elevations at the exterior walls at either side of the entire building in the same plane.

They include this diagram to illustrate that as your lot slope steps up, so can your building height. This is effectively identical to the Town of Carbondale's code:



Berkeley, California, another town where the entire city is on a sloping grade, and about half of the residential lots in the town of Berkeley are on relatively steeply sloping lots.

Just like in San Francisco and in the Town of Carbondale, [Berkeley considers that if your lot slopes upward](#), that your building height limits step up with the grade of the site. They differ very slightly from the Town of Carbondale in that Berkeley measures the slope from the finished grade, while Carbondale measures the height from the unimproved grade of the lot. But, in SF, Berkeley, and in Carbondale, the rule is that if your lot slopes upward, your building height limit steps up with the grade.

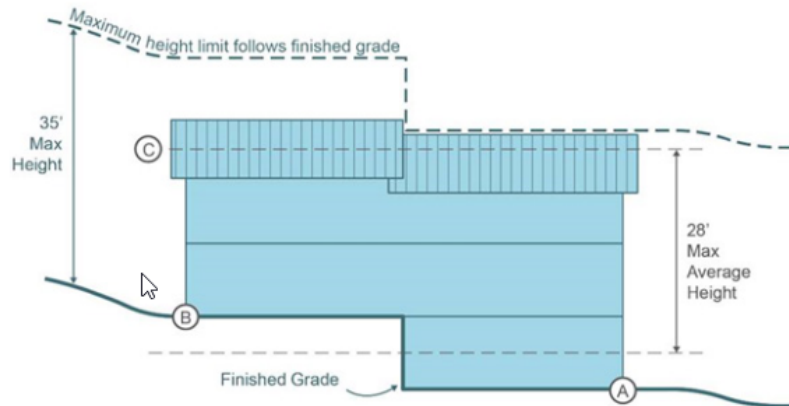
## MAXIMUM BUILDING HEIGHT DRAWING

In practice, the maximum height measurement allows main buildings on sloped lots to step with the grade of the site.

In order to visualize maximum height on a sloped lot, please refer to Figure 1, above. The solid line represents the finished grade, and the dashed line represents maximum height. To remain compliant with the district maximum height limit, no portion of the main building (including architectural projections such as eaves, decks, or balconies) or proposed addition may exceed the height maximum limit. Further, maximum height applies to each elevation and cross section of the proposed main building or addition, as grade differences on each side of the building will reveal different maximum heights for each portion of the building.

Figure 2 illustrates an elevation when both a maximum and an average height limit apply, such as a main building in R-1H.

**FIGURE 2. SLOPED-LOT BUILDING ELEVATION SHOWING AVERAGE AND MAXIMUM HEIGHTS (I.E. R-1H)**



Owners of lots that slope upward from the street, such as those lots on the west side of Crystal Bridge or Perry Ridge, could find the adoption of a new building height regulation proposal (such as building height limit being constrained to the height relative to the street curb elevation) to be devastating, unfair, and dramatically degrade the property value of such a lot. It would prevent a home from capturing the compelling views that an upward sloping lot on those streets allows a home to capture.

The RVRMA Board does not see a compelling reason for RVR to start regulating building height in any event. The community is well served by deferring that question to the Town of Carbondale and leaving this in the Town's responsibility is appropriate.

The RVRMA Board also appreciates any homeowner concern for Construction site safety. But, the board does not see workplace safety regulations as an appropriate area for the DRC or HOA to regulate or enforce. It is not in our wheelhouse, and just as with building height regulations, we lack the expertise and staff to take on enforcement of existing workplace safety laws and regulations.

# Twenty Second Amendment To the RVR Master Design Guidelines

Eighth Edition, Revised November 2017

## DRAFT

*The following amendment, relevant to Sections: 4.7 Building Mass and Form, 4.15 Other Design Features of Importance, 5.2 Roof Forms, 5.6 Roofing Materials, 5.7 overhangs, 5.8 Pitches, 5.14 Gutters and Downspouts, 5.17 Cantilevers, 5.19 Exterior Wall Materials (Twentieth Amendment), 5.25 Stone Wainscoting, 5.27 Lintels, 5.28 Lintels and Sills, 5.29 Stucco (Eighteenth Amendment), 5.30 Metal Siding, 5.34 Arrangements, 5.35 Large Window Openings, 5.43 Prohibited Window Type, 5.45 - Garage Doors, 5.48 Balconies, 5.51 Exterior Stairs (Tenth Amendment), 5.63 Soffits, 5.66 Equipment Enclosed or Screened, 5.68 Site Utilities, 6.24 Side Yards, 6.25 Back Yards, 6.38 Sleeving, 6.46 Grading Requirements, 6.57.4 Site Retaining Walls (Nineteenth Amendment), 9.22 Irrigation Sleeves, Block F – Old Town, Section 3 - Neighborhoods: Special Requirements (See Second Amendment), in the 2017 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on {Insert Date}.*

The Twenty Second Amendment to the RVR Master Design Guidelines shall grant the Design Review Committee broad capacity to approve design that allows fire defense, drought tolerant landscape and contemporary interpretations of the guidelines. With these revisions to some of the prescriptive requirements in the guidelines, it is understood that the DRC will have more authority to approve or reject submitted designs based on its professional aesthetic opinion. This approach will inherently permit a more subjective review process. Projects that demonstrate thoughtful high-quality design will be afforded greater flexibility and poorly thought-out projects will be acutely scrutinized. Compliance remains of the utmost importance and the understanding of a cooperative working relationship among all parties involved is paramount.

RVRMA encourages fire-resistive home design and construction to reduce the potential that your home could contribute to a wildfire. RVRMA asks that you keep fire dangers at top-of-mind during your design process and seek ways to reduce vulnerabilities to fire. Landscape design should also respond to concerns of fire protection and the implementation of a defensible space surrounding the home is encouraged. Applicants can visit [rvrma.org](http://rvrma.org) for additional resources on wildfire risk reduction information.

RVRMA encourages water conservation practices and the use of drought tolerant landscape. Designs must be compatible with the overall aesthetic themes in the community. The DRC has broad latitude to dictate both qualitative and quantitative elements of landscape designs. Applicants can visit [rvrma.org](http://rvrma.org) for additional resources concerning appropriate low water plant species and water efficiency measures that can be implemented on your property.

Contemporary interpretations of the design guidelines will be considered by the Design Review Committee on the condition that the design is complementary to the existing architectural fabric of RVR.

**CURRENT (to be deleted):**

**4.7 Building Mass and Form:**

Buildings must be residential in scale and preferably asymmetrical in form. Exterior volumes should express the nature and organization of interior spaces to provide articulation of walls and roofs. In order to guarantee the articulation of multiple masses within each building, a minimum of at least three distinct masses are required on each home. Building elements such as walls and roofs and roof ridges cannot have an unbroken horizontal length greater than 30 feet not including distance required for roof overhangs. Exterior elevations may not exceed two-stories in height without some form of setback or other architectural elements that create visual relief. Similarly, elements that create long horizontal banding such as unbroken wainscots are not permitted.

**UPDATED AMENDMENT:**

**4.7 Building Mass and Form:**

Buildings must be residential in scale and preferably asymmetrical in form. Exterior volumes should express the nature and organization of interior spaces to provide articulation of walls and roofs. The DRC may consider allowing less than 3 masses in unique circumstances as long as the architecture meets the intent of the guidelines. Exterior elevations may not exceed two-stories in height without some form of setback or other architectural elements that create visual relief. Similarly, elements that create long horizontal banding such as unbroken wainscots are not permitted. Building elements such as walls, roofs, and ridgelines should not have excessive horizontal lengths.

---

**CURRENT (to be deleted):**

**4.15 Other Design Features of Importance:**

- Typical ranch house detail like covered porches expansive stone chimneys and strong structural expression.
- Houses designed to optimize views and utilize natural features found on-site.
- An architectural vocabulary that emphasizes a ranch house heritage.
- In the custom homesite neighborhoods at River Valley Ranch: the intent is to create a sense of spaciousness and of living close to the land in a place where the natural environment dominates the scene.

- Trees in natural looking clusters; riparian forms along the drainage ways and water's edges; windbreak forms around houses or groups of houses and groves at "landmark" locations such as intersections and entries.
- Exterior surface that harmonize with the natural landscape as well as provide an outer skin that will withstand the climate extremes.
- Windows deeply recessed to give an appearance of substantial wall thickness strength and durability.
- Natural and stained, rather than painted finishes.
- Unfenced front yard.
- Residences which are environmentally friendly and comply with the Town of Carbondale

#### **UPDATED AMENDMENT**

#### **4.15 Other Design Features of Importance:**

The 7th bullet point which reads: "Windows deeply recessed to give an appearance of substantial wall thickness strength and durability" shall be deleted.

#### **CURRENT (to be deleted):**

#### **5.2 Roof Forms:**

A simple pattern of primary and secondary roof forms relatively steep pitches dormer and a limited palette of materials and colors are the primary characteristics of acceptable roof forms. Gable roof forms are to be primary elements in the design. Hip roof forms with dormers and limited shed roofs are to be used as secondary elements in the design. Large unbroken expanses of single pitched roof, flat and mansard roof forms are prohibited.

#### **UPDATED AMENDMENT:**

#### **5.2 Roof Forms:**

A simple pattern of primary and secondary roof forms relatively steep pitches dormer and a limited palette of materials and colors are the primary characteristics of acceptable roof forms. Gable roof forms are to be primary elements in the design. Hip roof forms with dormers and limited shed or flat roofs are to be used as secondary elements in the design. Mansard roofs are prohibited.

#### **CURRENT (to be deleted):**

#### **5.6 Roofing Materials**

In general, roofing materials are to be non-reflective textured and a variegated dark color. Unit roofing materials such as wood shakes or shingles that meet all applicable fire retarding standards. Composite thick butt architectural grade asphalt shingles are all encouraged. standing seam metal roofs and oxidized corrugated metal roofs may be approved if they are an integral part of the overall building aesthetic, but they are not

permitted to cover 100% of the roof. In general, metal roof should be the secondary material used in coordination with another approved material. Metal roofs must have a non-reflective surface and a muted dark color. No simulated materials such as plastic shakes or metal panels designed to appear as other materials will be allowed without special review and exception from the DRC. In these cases, the DRC is instructed to be open to advances in technology, but sensitive to proposed alternative materials appearance and proven durability.

**UPDATED AMENDMENT:**

**5.6 Roofing Materials:**

In general, roofing materials are to be non-reflective texture and a variegated dark color. Composite thick butt architectural grade asphalt shingles are required. Metal roofs are permitted to cover up to 100% of the roof, overall aesthetic of the home will be considered. Metal roofs shall be 24 gauge and must have a non-reflective surface and a muted dark color. Cedar shake shingles are prohibited. Class A roofing materials are required to minimize the threat of fire.

---

**CURRENT (to be deleted):**

**5.7 Overhangs:**

Broad roof overhangs can create deep shadow lines that reduce the appearance of the wall expanse and add visual interest to the overall structure. A minimum overhang of 2 feet, measured horizontally, is required. Other architectural roof elements such as corbels, rafter tails, and decorative cornices are encouraged to create shadow patterns, visual depth, and interest. Smaller elements such as dormers and selected shed roof may have appropriately scaled overhangs of 6 inches to 12 inches.

**UPDATED AMENDMENT:**

**5.7 Overhangs:**

The DRC will use its discretion when evaluating roof overhangs.

---

**CURRENT (to be deleted):**

**5.8 Pitches:**

A slope of 6 inches vertical in 12 inches horizontal (6:12) is required. Porch roofs and limited shed roofs are exempt from this requirement and may have a minimum pitch of 3:12. The lower pitched roofs will be limited to a maximum of 20% of the roof and will be reviewed on a case-by-case basis by the DRC.

**UPDATED AMENDMENT:**

**5.8 Pitches:**

A minimum slope of 6 inches vertical in 12 inches horizontal (6:12) is required. Shed and hip roofs are exempt from this requirement and will be reviewed on a case-by-case basis by DRC.

---

**CURRENT (to be deleted):**

**5.14 Gutters and Downspouts:**

These must follow rooflines and building forms in logical places in order to diminish their overall visual impact. Copper is encouraged. Otherwise, downspouts and gutters must be dark or muted colors that are complementary to the color scheme of the home.

**UPDATED AMENDMENT**

**5.14 Gutters and Downspouts:**

These must follow rooflines and building forms and must be generally located at building corners in order to diminish their overall visual impact. Downspouts and gutters must be muted colors that are complementary to the color scheme of the home.

---

**CURRENT: (to be deleted):**

**5.17 Cantilevers:**

Suspended building masses, decks and cantilevered building elements are not permitted. Such elements shall have appropriately designed structural posts, kickers, beam lookouts, etc.

**UPDATED AMENDMENT:**

**5.17 Cantilevers:**

Cantilevered building elements may be permitted on a case-by-case bases.

---

**CURRENT (to be deleted):**

**5.19 Exterior Wall Material Transitions (See Twentieth Amendment)**

Exterior materials must be used to enhance whole building volumes instead of single elevations; any exterior wall material must wrap around corners and terminate at logical ending points. No change in materials shall occur on an exterior corner.

**UPDATED AMENDMENT:**

**5.19 Exterior Wall Material Transitions (See Twentieth Amendment)**

Exterior materials must be used to enhance whole building volumes instead of single elevations; any exterior wall material must wrap around corners and terminate at an inside corner. No change in materials shall occur on an exterior corner. Furthermore, exterior wall stone cladding shall be shown on the floor plan in submittal drawings.

---

**CURRENT (to be deleted):**

**5.25 Stone Wainscoting:**

Use of this technique must be broken through variations in height or periodic breaks designed to avoid the appearance of a continued band. Similarly, windows should either be held above the wainscot or integrated into them, not designed immediately on top of it.

**UPDATED AMENDMENT:**

**5.25 Stone Wainscotting:**

Use of this technique must be broken up through variations in height or periodic breaks to avoid the appearance of a continued band.

---

**5.27 Lintels:**

Stone must appear to be self-supporting, where it is used above windows, doors or other openings, it must appear to be supported by an appropriately heavy lintel or a structural appearing arch.

**UPDATED AMENDMENT:**

**5.27 Lintels:**

Where stone is used above windows, doors, garage doors or other openings, a visual lintel is recommended, constructed as a single piece of stone, timber or steel. Such visual lintels should be proportioned to appear as though they are supporting the heavy stone wall above the opening. For those designs incorporating lintels, the drawings indicate that the visual lintel is a single piece and shall note its material, size and overhang.

---

**CURRENT (to be deleted):**

**5.28 Lintels and Sills:**

In massive walls of stone or stucco, the use of lintel and sills at door and window openings is required. These lintel and sill members are to be detailed and proportioned so as to appear structurally sound. Lintels and sills may be made of timber, logs, cut stone or natural stone.

**UPDATED AMENDMENT:**

**5.28 Lintels and Sills:**

Section 5.28 shall be deleted in its entirety. Refer to Section 5.27.

---

**CURRENT (to be deleted):**

**5.29 Stucco (see Eighteenth Amendment):**

It is to be used sparingly, covering 20% or less of the exterior, and must be used in conjunction with stone, wood siding, or other materials approved by the DRC. It must be dark in color, with a light reflectivity of 40% or less, and incorporate frequent control joints and significant textural qualities. When stucco is used it should convey a visual impression of mass by forming eased or rounded corners with deeply set reveals for door and window openings. Stucco shall be finished in earth-tone colors that are compatible with the natural soils and rock of River Valley Ranch.

**UPDATED AMENDMENT**

**5.29 Stucco (see Eighteenth Amendment):**

It is to be used sparingly and must be used in conjunction with stone, wood siding, or other materials approved by the DRC. It must be dark in color, with a light reflectivity of 40% or less, and incorporate significant textural qualities. When stucco is used it should convey a visual impression of mass by forming eased or rounded corners with deeply set reveals for door and window openings. Stucco shall be finished in earth-tone colors that are compatible with the natural soils and rock of River Valley Ranch.

---

**CURRENT (to be deleted)**

**5.30 Metal Siding:**

Rusted corrugated or similar metal materials may be used as an exterior finish material in sparing quantities not to exceed 15% of the exterior surface area. Galvanized or other reflective surfaces are not permitted.

**UPDATED AMENDMENT:**

**5.30 Metal Siding:**

Rusted corrugated or similar metal materials may be used as an exterior finish material. The DRC will use its discretion when evaluating metal siding percentages. Galvanized or other reflective surfaces are not permitted. In some cases, it may be required that certain metal materials are weathered before installation or during the construction process.

---

**CURRENT (to be deleted):**

**5.34 Arrangements:**

Doors and windows shall be designed in proportion to the structure and form of the building and should adhere to a traditional rectangular pattern in keeping with the overall design theme. Windows, in general, should be vertically oriented. Horizontal windows and banded windows are subject to review and approval by the DRC when they are determined to be appropriate aesthetically. Vinyl-clad windows are prohibited.

**UPDATED AMENDMENT:**

**5.34 Arrangements:**

Doors and windows shall be designed in proportion to the structure and form of the building. Windows, in general, should be vertically oriented. Banded windows are subject to review and approval by the DRC when they are determined to be appropriate aesthetically. Vinyl-clad windows are prohibited.

---

**CURRENT (to be deleted):**

**5.35 Large Window Openings:**

These must be composed of multiple windows in order to maintain a smaller scale. Typically, designers surround large unbroken windows chosen to provide unobstructed access to important views with smaller divided windows in traditional patterns.

Additionally, windows must be used in logical patterns throughout the home such that they reveal the internal spatial organization of the home and are consistent on all elevations.

**UPDATED AMENDMENT:**

**5.35 Large Window Openings:**

Large window openings are permitted and need not be subdivided into multiple windows. Divided lite windows are not required.

---

**CURRENT (to be deleted):**

**5.43 Prohibited Window Type:**

Sliding windows, horizontal rectangular windows and popout windows are not in keeping with the architectural character of River Valley Ranch and will not be approved. In addition, sliding glass doors are generally discouraged in favor of swinging French doors or single light casement door.

**UPDATED AMENDMENT:**

**5.43: Prohibited Window Types:**

Section 5.43 shall be deleted in its entirety.

---

**CURRENT (To be deleted)**

**5.45 - Garage Doors:**

The support walls that separate individual garage doors should be designed so as to emphasize shadow lines on the recessed door surface and to visually break up the continuum of similar construction materials and color. The materials, treatment and color selected for the garage doors must be integrated into the design of the main residence. single wide garage doors are preferred over double wide doors. Double wide garage doors are allowed if the garage door is designed such that it appears as two doors. The DRC will examine this issue very closely and will require designs to appear as authentic as possible. Additionally it is required that all garage doors-be deeply recessed.

**UPDATED AMENDMENT:**

**5.45 Garage Doors:**

The support walls that separate individual garage doors should be designed so as to emphasize shadow lines on the recessed door surface and to visually break up the continuum of similar construction materials and color. The materials, treatment and color selected for the garage doors must be integrated into the design of the main residence. Double wide garage doors are allowed. The DRC will examine this issue very closely and will require designs to appear as authentic as possible. Additionally, it is required that all garage doors-be deeply recessed.

---

**CURRENT (to be deleted):**

**5.48 Balconies:**

Balconies are encouraged. They can be either recessed into the wall mass or projected from exterior walls. When a projected balcony is used, consideration must be given to protection from snow shedding. The underside of projecting balconies must be finished with materials that match or complement exterior wall materials. Supporting structural systems must be visible and appear appropriately massive and must be decorative in nature. Balconies should be sized to individual room functions and should be proportional to the overall building massing. Cantilevered balconies, porches and stairs are prohibited.

**UPDATED AMENDMENT:**

**5.48 Balconies:**

Balconies are encouraged. They can be either recessed into the wall mass or projected from exterior walls. When a projected balcony is used, consideration must be given to protection from snow shedding. The underside of projecting balconies must be finished with materials that match or complement exterior wall materials. Supporting structural systems must be visible and appear appropriately massive. Balconies should be proportional to overall building massing.

---

**CURRENT: (to be deleted):**

**5.51 – Exterior Stairs (See Tenth Amendment)**

- a. (The following sentence will remain, unchanged) “Exterior stairs of more than half a story are prohibited. The DRC will make special review of such designs before approving them to ensure that the design is in keeping with the standards of quality and aesthetics required by these Guidelines.”
- b. (The following sentence will be added, as follows:) “Metal stair treads for exterior stairs (except for front entries) will be considered by the DRC on a case-by-case basis. The stair handrails and stringer must be of materials that are consistent with the standards of quality and aesthetics required by these Guidelines.

**UPDATED AMENDMENT:**

**5.51 – Exterior Stairs**

**The Tenth Amendment will be deleted in its entirety and replace with the following:**

Exterior stairs are permitted if they are within the building envelope and are an integral part of the residence design aesthetic.

---

**CURRENT (to be deleted):**

**5.63 Soffits:**

Recessed can lights in exterior or soffits cannot be higher than ten feet above exterior grade.

**UPDATED AMENDMENT**

**5.63 Soffits:**

Soffit light fixtures used to light decks, patios or walkways may be permitted only if the light source cannot be seen from anywhere outside the property.

---

**CURRENT (to be deleted):**

**5.66 Equipment Enclosed or Screened:**

Free standing external pad-mounted equipment such as required for A/C units, pools and spas or garbage can storage areas, must be integrated into the building through the use of walled or fenced enclosed, or intensely screened with landscaping materials.

**UPDATED AMENDMENT:**

**5.66 Equipment Enclosed or Screened:**

Free standing external pad-mounted equipment such as required for A/C units, pools and spas or garbage can storage areas, must be integrated into the building through the use of walled or fenced enclosed. The DRC will consider locations of mechanical equipment so that it is least visible to neighboring properties. The DRC will evaluate screening on a case-by-case bases.

---

**CURRENT (to be deleted):**

**5.68 Site Utilities:**

All site utilities are to be installed underground in alignments that minimize grading, tree clearing, and other physical impacts on the homesite. To the extent possible and with the approval of the utility company, utility boxes are to be located and/or screened so that they are not visible from off-site.

**UPDATED AMENDMENT:**

**5.68 Site Utilities:**

All site utilities are to be installed underground in alignments that minimize grading, tree clearing, and other physical impacts on the homesite. To the extent possible and with the approval of the utility company, utility boxes are to be located and/or screened so that they are not visible from off-site. The DRC will consider locations of utility boxes so that they are least visible to neighboring properties. New construction should be concerned by screening. The DRC will evaluate screening on a case-by-case basis. All utilities, except the gas meter, shall be painted to match background.

---

**CURRENT (To be deleted):**

**6.24 Side Yards:**

The side yard landscape design should provide privacy and screening between adjacent residences. The DRC will consider long term effects to the Owner's homesite and adjacent properties when evaluating the design. Large stature trees that encroach on neighboring properties, block views, or create substantial shade may not be approved. Utilities and Service Areas are permitted in the side yard, provided they are screened from offsite view. All seeded areas, shrub beds, and gardens visible from offsite shall be maintained in a clean, weed free condition. Due to the narrow cross section of most side yards, landforms will only be permitted by special review.

Mowed sod that follows the property line is not permitted. The goal is to create a more natural edge of native grasses or planting beds that will blur the hard property lines, reinforcing the sense that River Valley Ranch is a continuous community instead of a collection of homesites. Adjacent property owners have the ability to cross property lines with mowed grass when both parties make their agreement known to the DRC .

**UPDATED AMENDMENT:**

**6.24 Side Yards:**

The side yard landscape design should provide privacy and screening between adjacent residences. The DRC will consider long term effects to the Owner's homesite and adjacent properties when evaluating the design. Large stature trees that encroach on neighboring properties or create substantial shade may not be approved. Utilities and Service Areas are permitted in the side yard. New construction should be concerned with screening. The DRC will evaluate screening on a case-by-case basis. All seeded areas, shrub beds, and gardens visible from offsite shall be maintained in a clean, weed free condition. Due to the narrow cross section of most side yards, landforms will only be permitted by special review.

Mowed sod that follows the property line is not permitted. The goal is to create a more natural edge of native grasses or planting beds that will blur the hard property lines, reinforcing the sense that River Valley Ranch is a continuous community instead of a collection of homesites. Adjacent property owners have the ability to cross property lines with mowed grass when both parties make their agreement known to the DRC.

---

**CURRENT (to be deleted):**

**6.25 Back Yards:**

Landscape design should provide private outdoor spaces and continuity with adjacent uses such as Golf Course rough, park areas or undisturbed native areas. Landscape elements shall be used to compliment the architecture of the residence especially if the home is visible from public spaces.

Property lines that adjoin public spaces with sod shall have bluegrass sod placed along the entire property line to create continuity between the public space and the private residence. Property lines that adjoin public spaces with native areas shall recreate the native environment along at least 50% of property line to create continuity between the public space and the private residence. All seeded areas, shrub beds and gardens visible from offsite shall be maintained in a clean, weed free condition. Vegetation may not be used to form a wall that hides the residence from the public spaces.

**UPDATED AMENDMENT:**

**6.25 Back Yards:**

Landscape design should provide private outdoor spaces and continuity with adjacent uses such as Golf Course rough, park areas or undisturbed native areas. Landscape elements shall be used to compliment the architecture of the residence especially if the home is visible from public spaces.

Property lines that adjoin public spaces with native areas shall recreate the native environment along at least 50% of property line to create continuity between the public space and the private residence. All seeded areas, shrub beds and gardens visible from offsite shall be maintained in a clean, weed free condition. Vegetation may not be used to form a wall that hides the residence from the public spaces.

---

**CURRENT (to be deleted):**

**6.38 Sleeving:**

The Owner is also responsible to place three PVC sleeves under the entire width of the new driveway. Four inch and six-inch sleeves must be installed 30" deep, 18" from the curb; an additional 4-inch sleeve is to be installed at a depth of 12 inches below grade immediately adjacent to the curb. This sleeve is necessary to accommodate future repairs or adjustments to the lateral line irrigation.

**UPDATED AMENDMENT**

**6.38 Sleeving:**

The Owner is also responsible to coordinate sleeving installation with the RVRMA irrigation staff. The owner is responsible for excavation and back-filling. RVR will supply and install the pipe with costs to be paid for by the Owner.

---

**CURRENT (to be deleted):**

**6.46 Grading Requirements:**

Grading is to be designed as a combination of cuts, fills, and occasional retaining walls that protect existing vegetation and blend into and/or appear to be extensions of existing natural landforms. Whenever possible, natural slopes are preferable to structures. Retaining walls where visible from off-site, are to be built of rock or stone, and/or treated

timber. Structures exceeding four feet in height should be battered and stepped to include ample planting pockets. Slopes should not exceed a slope of four feet horizontally by one foot vertically unless there are extenuating circumstances. Disturbed areas are to be re-vegetated and blended into the surrounding environment.

**UPDATED AMENDMENT:**

**6.46 Grading Requirements:**

Grading is to be designed as a combination of cuts, fills, and occasional retaining walls that protect existing vegetation and blend into and/or appear to be extensions of existing natural landforms. Whenever possible, natural slopes are preferable to structures. Retaining walls where visible from off-site, are to be built of rock or stone, treated timber or board form concrete. Terraced retaining walls must be offset horizontally by a minimum distance of 3 feet to support viable plant materials in each terrace. Slopes should not exceed a slope of four feet horizontally by one foot vertically unless there are extenuating circumstances. Disturbed areas are to be re-vegetated and blended into the surrounding environment.

The following language shall be added to grading/landscape plans: ***“The contractor shall provide site grading exactly per the drawings. If the DRC finds any discrepancies between the as-built condition and the approved drawings, the contractor, at his cost, will be required to correct the site drainage (and related site issues) to conform with the drawings.”***

The architect shall provide a note (in large letters) on the site grading plan that states, ***“after all fine grading is done, but prior to any flatwork or landscape work, the contractor must request from DRC a site grading inspection and verifying drywells.”***

---

**CURRENT (to be deleted):**

**6.57.4 Site Retaining Walls (See Nineteenth Amendment)**

Terraced retaining walls must be offset horizontally by a minimum distance of 3 feet to support viable plant materials in each terrace.

**UPDATED AMENDMENT:**

**6.57.4. f Site Retaining Walls (See Nineteenth Amendment)**

On walls greater than 30” in height, there must be a minimum 3’ wide space for landscaping between the top of wall and the property line.

---

**CURRENT (to be deleted):**

**9.22 Irrigation Sleeves:**

Prior to making a driveway cut, the Owner or Builder must request a visual inspection by the RVRMA to determine if the cut will affect existing irrigation systems. In the event that

irrigation heads are affected by driveway construction, the Owner or Builder shall request relocation by the RVRMA and will be responsible for the cost of its relocation. The Owner or Builder is also responsible to place three (3) PVC sleeves under the entire width of the new driveway. Four-inch (4") and 6" sleeves must be installed 30" deep and 18" from the curb. An additional 4" sleeve is to be installed at a depth of 12" below grade, immediately adjacent to the curb. This sleeve is necessary to accommodate future repairs or adjustments to the irrigation lateral line.

**UPDATED AMENDMENT:**

**9.22 Irrigation Sleeves:**

Prior to making a driveway cut, the Owner or Builder must request a visual inspection by the RVRMA to determine if the cut will affect existing irrigation systems. In the event that irrigation heads, valves, or valve boxes are affected by driveway construction, the Owner or Builder shall request relocation by the RVRMA and will be responsible for the cost of its relocation.

---

**CURRENT (To be deleted):**

**Block F - Old Town**

Construction of Old Town is now complete. Any request for additions or alterations to buildings or landscaping are to be in keeping with the form scale and color scheme and detail of the existing neo-traditional Victorian design. The DRC shall use the existing context as its guide for decision making.

Painting: Property owner's requests for change in the paint color applied to their Old Town home are subject to DRC approval and the Owner will be required to pay any incremental charges resulting from the change in paint color above and beyond what the association would have spent to repaint the home in its normal repaint cycle.

**UPDATED AMENDMENT:**

**Block F – Old Town**

Construction of Old Town is now complete. Any request for additions or alterations to buildings or landscaping are to be in keeping with the form scale and color scheme and detail of the existing neo-traditional Victorian design. The DRC shall use the existing context as its guide for decision making. Alternative fire resistive roofing may be considered.

Painting: Property owner's requests for change in the paint color applied to their Old Town home are subject to DRC approval and the Owner will be required to pay any incremental charges resulting from the change in paint color above and beyond what the association would have spent to repaint the home in its normal repaint cycle.

---

**CURRENT (To be deleted):**

**Section 3 - Neighborhoods: Special Requirements (See Second Amendment):**

Settlement Roofs shall be either Type A Cedar shakes or an asphalt/fiberglass composite roof with an allowance for secondary roofs, such as shed roofs to be covered in corrugated or standing seam metal. If the roof is to be a composite roof it is subject to the following criteria:

1. Multi-Tab, Thick-Butt Shingle
2. Architectural/Designer Grade Shingle
3. Lifetime limited warranty, 110 MPH wind warranty
4. Earth-tone, taupe color palette which is generally consistent with weathered cedar shake shingles and exterior finishes of surrounding Settlement homes
5. Acceptable representative product examples would be the GAF Grand Canyon in Stone Wood or Sedona Sunset and GAF Sequoia in Cedar, Mesa Brown or Weathered Wood

**UPDATED AMENDMENT:**

**Section 3 - Neighborhoods: Special Requirements (See Second Amendment):**

Settlement Roofs shall be type A asphalt/fiberglass composite roof with an allowance for secondary roofs, such as shed roofs to be covered in corrugated or standing seam metal. If the roof is to be a composite roof it is subject to the following criteria:

1. Multi-Tab, Thick-Butt Shingle
2. Architectural/Designer Grade Shingle
3. Lifetime limited warranty, 110 MPH wind warranty
4. Earth-tone, taupe color palette which is generally consistent with weathered cedar shake shingles and exterior finishes of surrounding Settlement homes
5. Acceptable representative product examples would be the GAF Grand Canyon in Stone Wood or Sedona Sunset and GAF Sequoia in Cedar, Mesa Brown or Weathered Wood, or GAF Timberline UHDZ or Timberline AS II in colors approved by the DRC
6. Alternative fire resistive roofing may be considered

---

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

**PRESIDENT’S CERTIFICATION:**

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on *{insert date}*, in the year 2025 and in witness thereof, the undersigned has subscribed his/her name.

---

**RVRMA President**

---

**Date adopted**

DRAFT